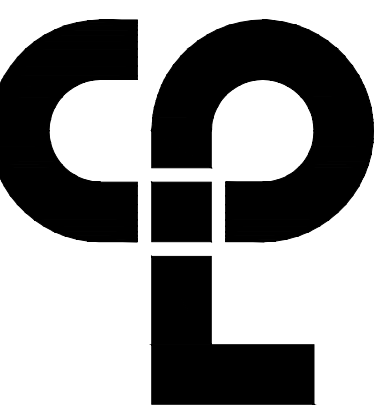


ESSEX COUNTY DPW

COURTHOUSE ROOF REPLACEMENT



CPL | Architecture Engineering Planning
 30 CENTURY HILL DR, SUITE 104
 LATHAM, NY 12110
 CPLearn.com

OWNER:
 ESSEX COUNTY DPW
 8053 US ROUTE 9
 ELIZABETHTOWN, NY 12932

ARCHITECT:
 CPL
 30 CENTURY HILL DRIVE
 LATHAM, NEW YORK 12110
 PHONE: (800) 274-9000
 FAX: (518) 463-3823

PROJECT INFORMATION

Project Number
 12830.04
 Client Name
 ESSEX COUNTY DPW
 Project Name
 COURTHOUSE ROOF
 REPLACEMENT
 Project Address
 7551 COURT STREET
 ELIZABETHTOWN, NY 12932
 SED Number

REVISION SCHEDULE

No. Date Description

LIST OF DRAWINGS

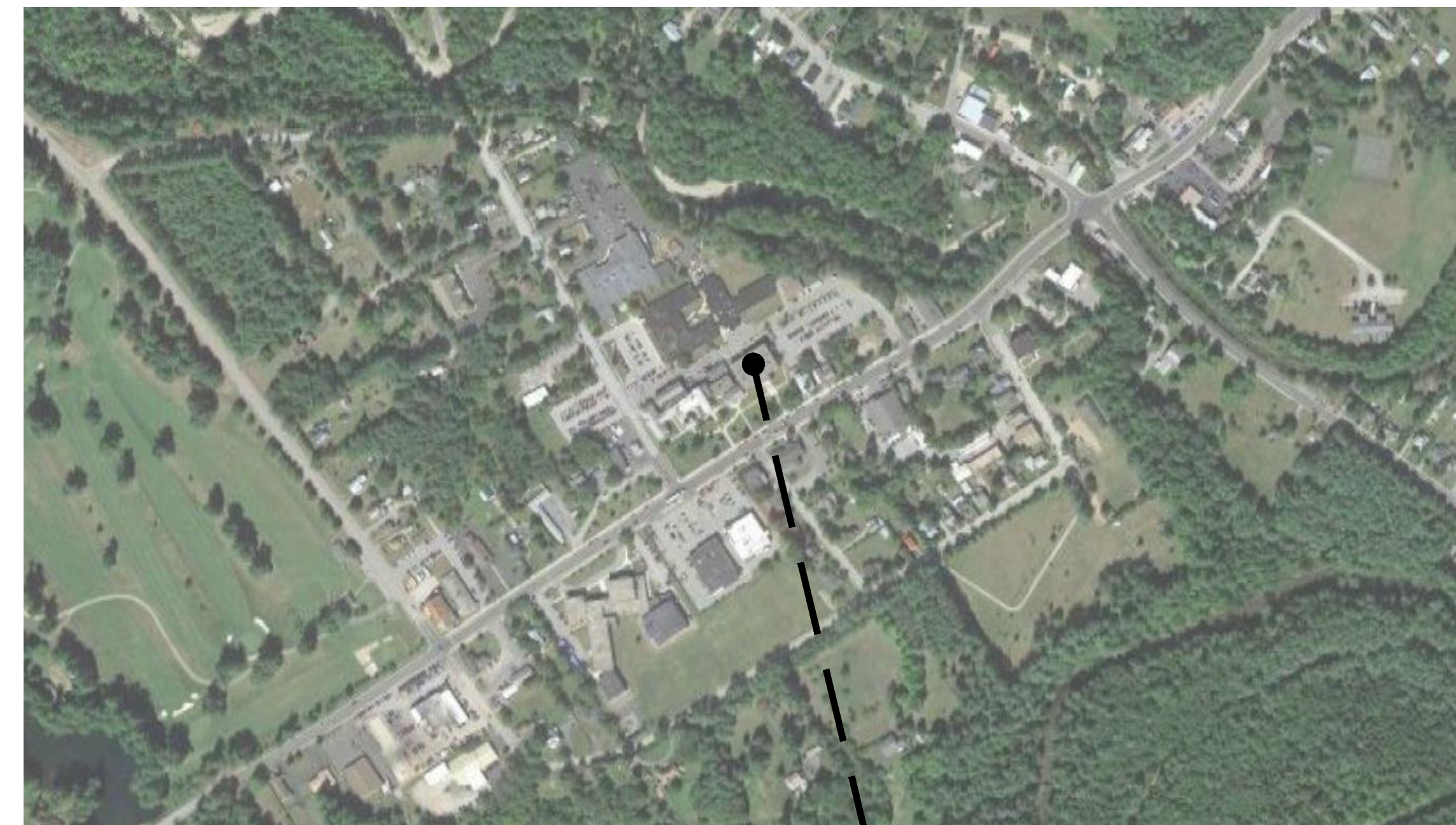
GENERAL

ECR/G001 COVER SHEET

ARCHITECTURAL

ECR/A101 ROOF DEMOLITION PLAN
 ECR/A201 ROOF NEW WORK PLAN
 ECR/A901 TYPICAL ROOF DETAILS

LOCATION MAP



— LOCATION OF WORK

**FOR REVIEW ONLY
 NOT FOR PERMIT OR
 CONSTRUCTION**

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSION'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY MANNER, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED. THE ALTERING PARTY SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

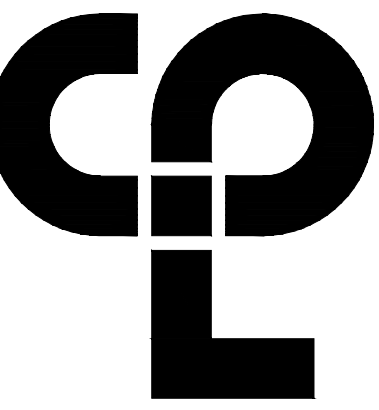
SHEET INFORMATION

Issued 11/05/2021 Scale AS NOTED
 Project Status
 ISSUED FOR BID
 Drawn By NRA Checked By LT
 Drawing Title
 COVER SHEET

Drawing Number Revision Number

ECR
 G001

Sheet size: 24x36
 Drawing Name: S:\Projects\Essex_Co\Courthouse Roof Repl\A\Design\06 CAD\AutoCAD\ARCH\A\1\G001 - 12830.04.dwg
 Date last accessed: 10/14/2021 3:38 PM
 Date last plotted: 11/03/2021 3:03 PM
 Plotted By: Nathan Alois



GENERAL DEMOLITION NOTES:

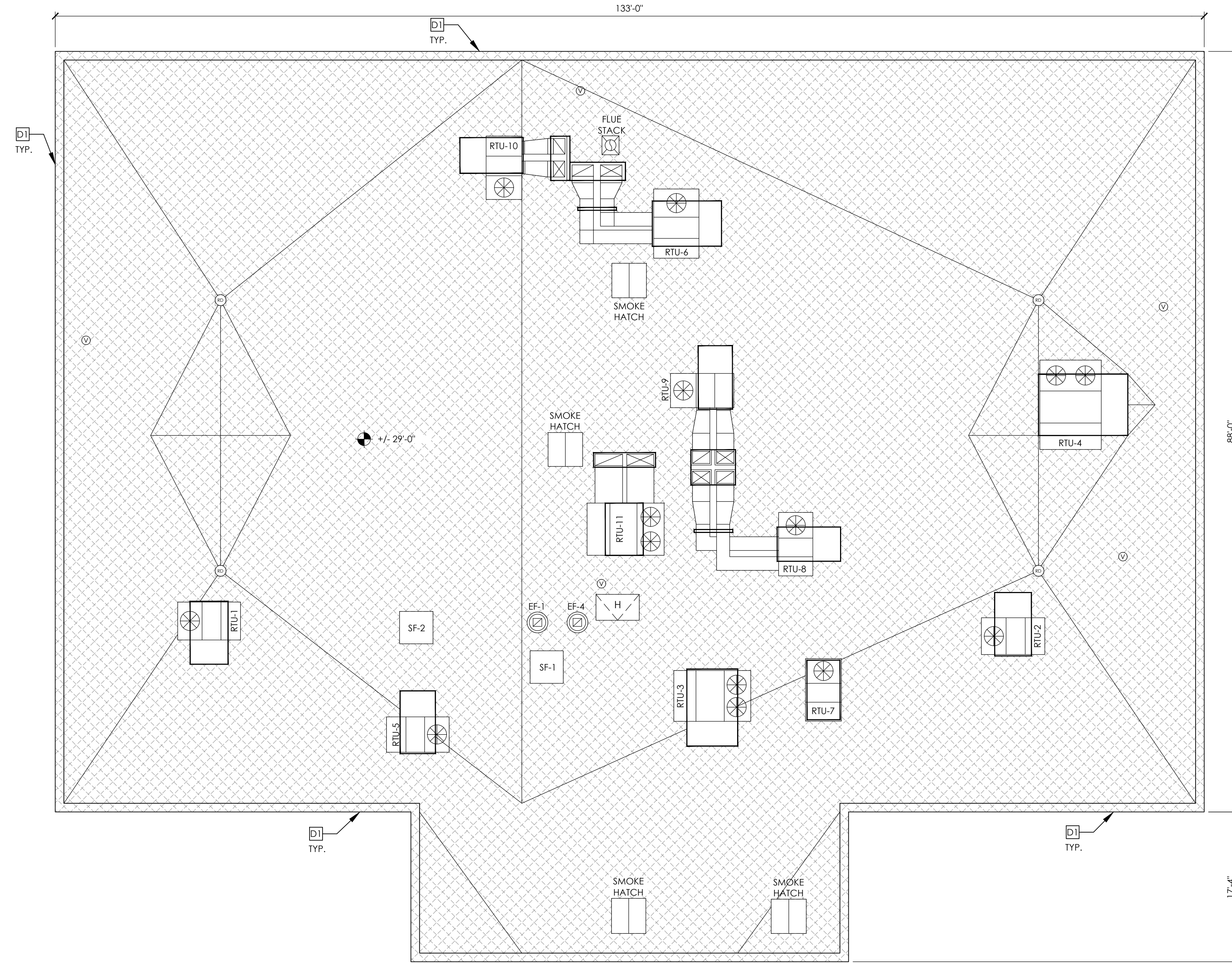
1. IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS AND DETAILS INVOLVED IN THE DEMOLITION WORK.
2. THE OWNER SHALL PROVIDE THE CONTRACTOR WITH A LIST OF ALL ITEMS TO BE SALVAGED PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL PROTECT ADJACENT SURFACES AND FINISHES NOT SCHEDULED FOR DEMOLITION WORK AND SHALL REPAIR ANY DAMAGED AREAS AS A RESULT OF CONTRACTED WORK AT NO ADDITIONAL COST TO THE OWNER.
4. THE CONTRACTOR SHALL MAINTAIN AND CONTINUE SAFE ACCESS TO ALL EXITS FOR THE BUILDING OCCUPANTS DURING CONSTRUCTION.
5. ALL EXISTING FLASHING SHALL BE CUT BACK TO FACE OF BRICK TO ACCOMMODATE NEW INSULATION HEIGHT.

DEMOLITION KEYNOTES:

METAL COPING TO BE REMOVED IN ITS ENTIRETY

ROOF LEGEND:

- AREA OF FULL ROOF TEAR-OFF. EXISTING ROOF SYSTEM:
 -METAL ROOF DECK
 -4" THICK RIGID ROOF INSULATION
 -MEMBRANE ROOFING
 -GRAVEL
- PLUMBING VENT, EXISTING TO REMAIN



N
DEMOLITION ROOF PLAN
 SCALE: 1/8" = 1'-0"

PROJECT INFORMATION

Project Number
12830.04
 Client Name
ESSEX COUNTY DPW

Project Name
COURTHOUSE ROOF REPLACEMENT

Project Address
7551 COURT STREET
ELIZABETHTOWN, NY 12932
 SED Number

REVISION SCHEDULE

No.	Date	Description

**FOR REVIEW ONLY
 NOT FOR PERMIT OR
 CONSTRUCTION**

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, IF AN REA BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED, THE ALTERING PARTY SHALL AFFIX TO THE REA THEIR SEAL AND THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION



Issued
11/05/2021
 Project Status
ISSUED FOR BID
 Drawn By
NRA
 Checked By
LT
 Drawing Title
ROOF DEMOLITION PLAN

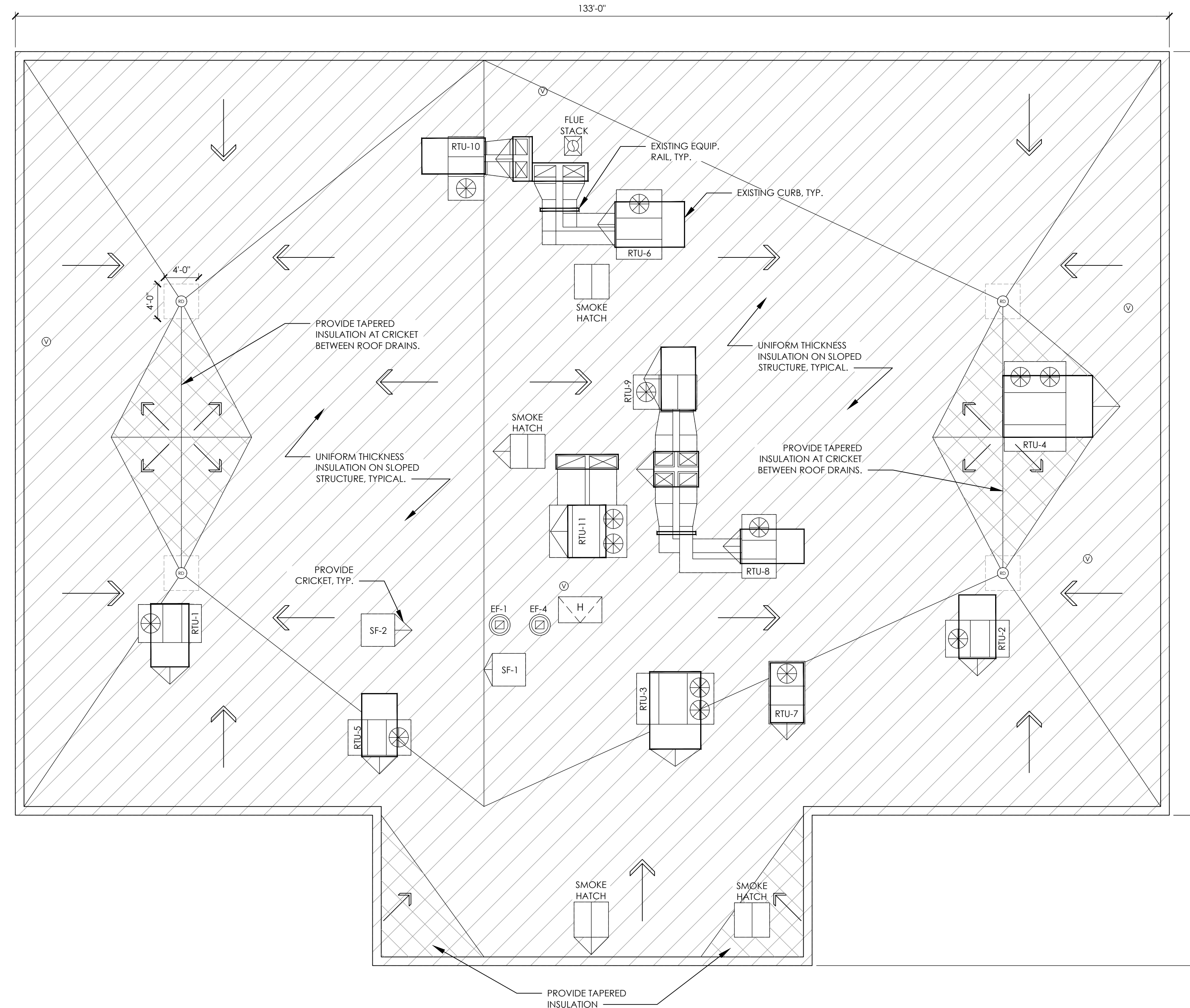
Drawing Number
ECR
A101
 Revision Number

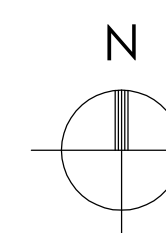
GENERAL CONSTRUCTION NOTES:

1. ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATIONS OF EXISTING AND NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGES TO ANY EXISTING FINISHES AND EQUIPMENT NOT REMOVED UNDER THE SCOPE OF WORK. ANY DAMAGE WILL BE REPAIRED TO THE OWNER/ARCHITECTS SATISFACTION AT NO COST TO THE OWNER.
3. WORK AREAS SHALL BE MAINTAINED AND ALL WORK AREAS SHALL BE LEFT BROOMED CLEAN AT THE END OF EACH DAY.
4. THE CONTRACTOR SHALL PROVIDE DUST CONTROL BARRIERS AT ALL AREAS OF CONSTRUCTION.
5. THE CONTRACTOR SHALL PATCH ALL SURFACES WHERE EXISTING MATERIALS HAVE BEEN DISTURBED TO MATCH AND BE FLUSH WITH ADJACENT CONSTRUCTION AT ALL FLOOR, WALL, AND CEILING LOCATIONS.
6. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES FOR SEQUENCING OF WORK.

ROOF LEGEND:

-  AREA OF NEW EPDM ROOFING SYSTEM
-  PLUMBING VENT, EXISTING TO REMAIN



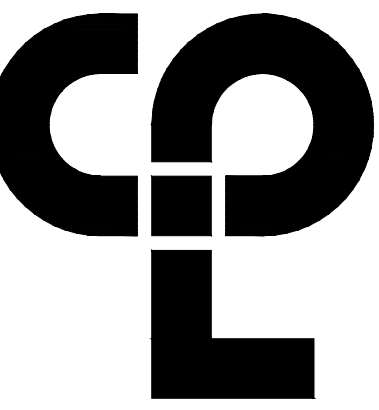

ROOF NEW WORK PLAN
 SCALE: 1/8" = 1'-0"

Plotted By: Nathan Alois

Date last plotted: 11/03/2021 3:03 PM

Date last accessed: 10/14/2021 3:38 PM

Sheet size: 24x36
Drawing Name: S:\Projects\Essex_Co\Courthouse Roof Rep\A201-12830.04.dwg



CP | Architecture Engineering Planning
 30 CENTURY HILL DR, SUITE 104
 LATHAM, NY 12110
 CPlearn.com

PROJECT INFORMATION

Project Number
12830.04
Client Name
ESSEX COUNTY DPW

Project Name
COURTHOUSE ROOF REPLACEMENT

Project Address
7551 COURT STREET
ELIZABETHTOWN, NY 12932
SD Number

REVISION SCHEDULE

No.	Date	Description

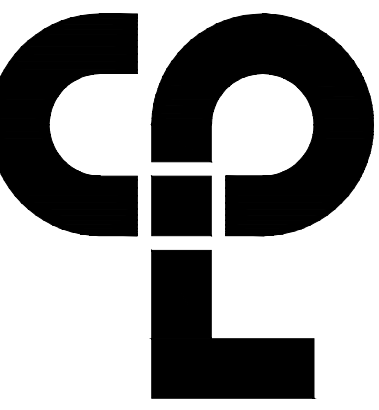
**FOR REVIEW ONLY
NOT FOR PERMIT OR
CONSTRUCTION**

IF IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED, THE ALTERING PARTY SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION

Issued 11/05/2021	Scale AS NOTED
Project Status ISSUED FOR BID	Checked By LT
Drawn By NRA	Drawing Title ROOF NEW WORK PLAN

Drawing Number
ECR A201
Revision Number



PROJECT INFORMATION

Project Number
12830.04
Client Name
ESSEX COUNTY DPW

Project Name
COURTHOUSE ROOF
REPLACEMENT

Project Address
7551 COURT STREET
ELIZABETHTOWN, NY 12932
SFD Number

REVISION SCHEDULE

No.	Date	Description

**FOR REVIEW ONLY
NOT FOR PERMIT OR
CONSTRUCTION**

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY MANNER, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED, THE ALTERING PARTY SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION

Issued
11/05/2021
Scale
AS NOTED

Project Status
ISSUED FOR BID

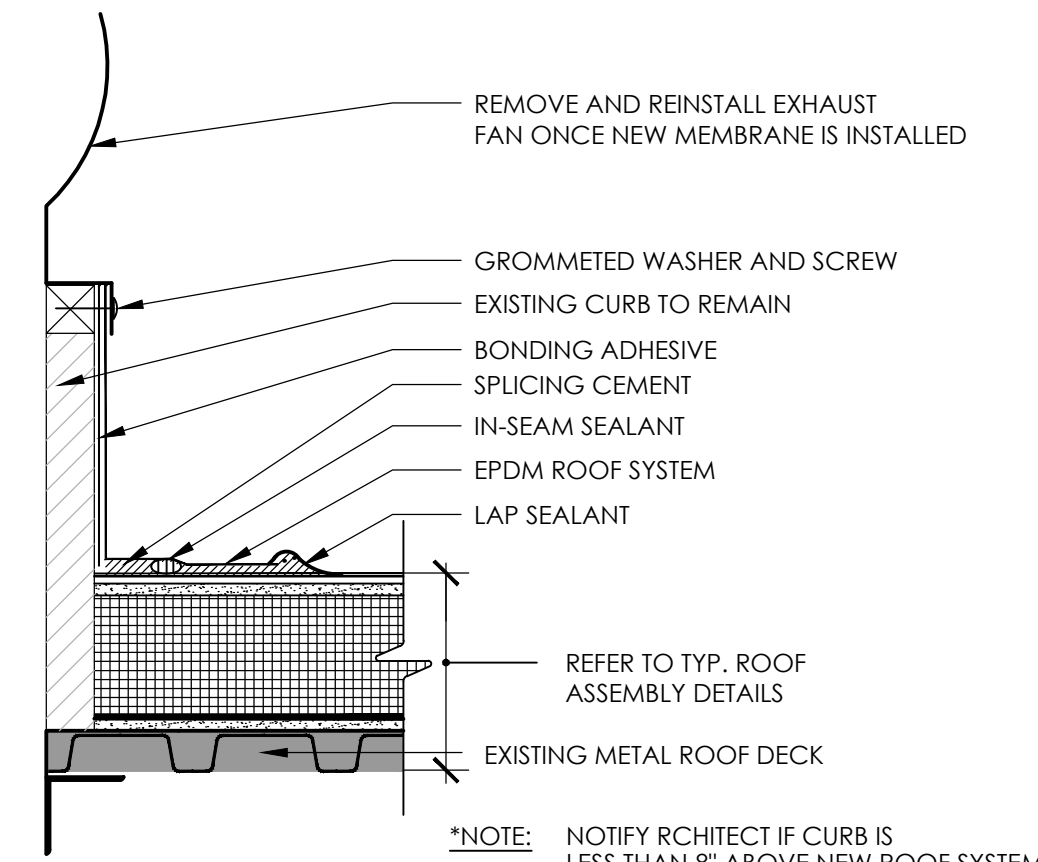
Drawn By
NRA

Checked By
LT

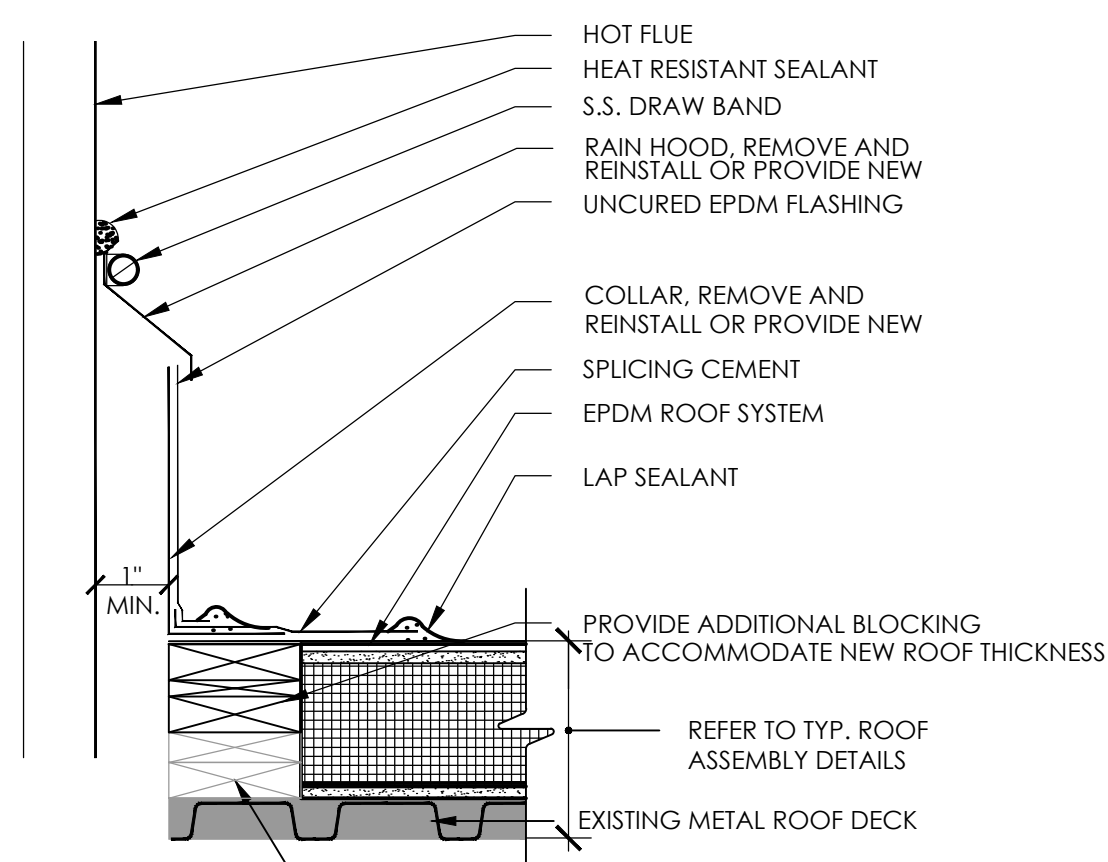
Drawing Title
TYPICAL ROOF DETAILS

Drawing Number
Revision Number

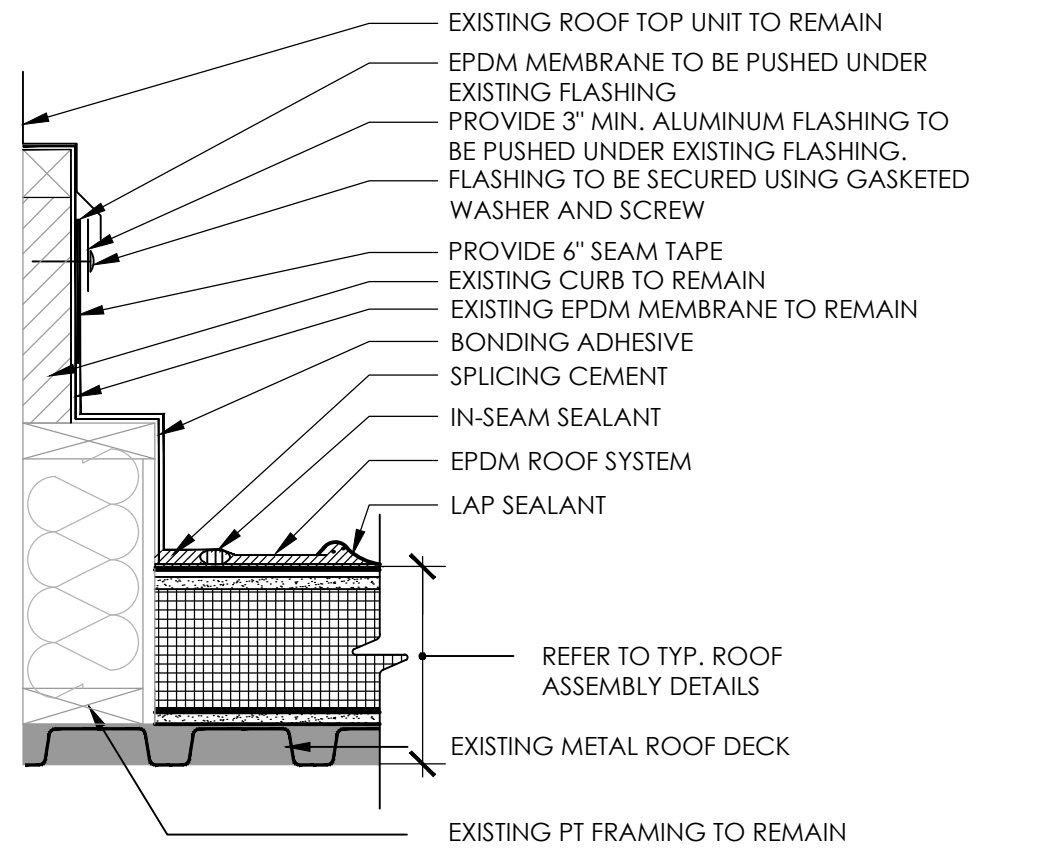
ECR
A901



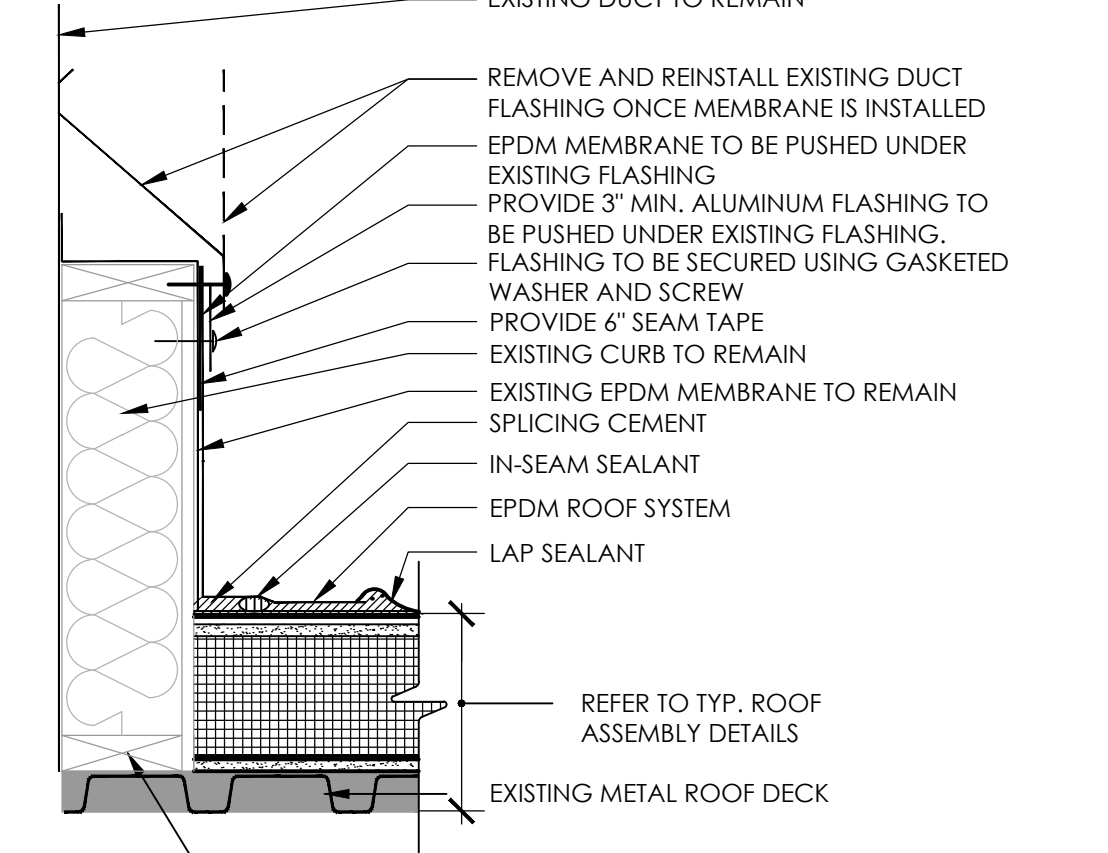
3 CURB AT EXHAUST FANS
SCALE: 1 1/2" = 1'-0"
A901



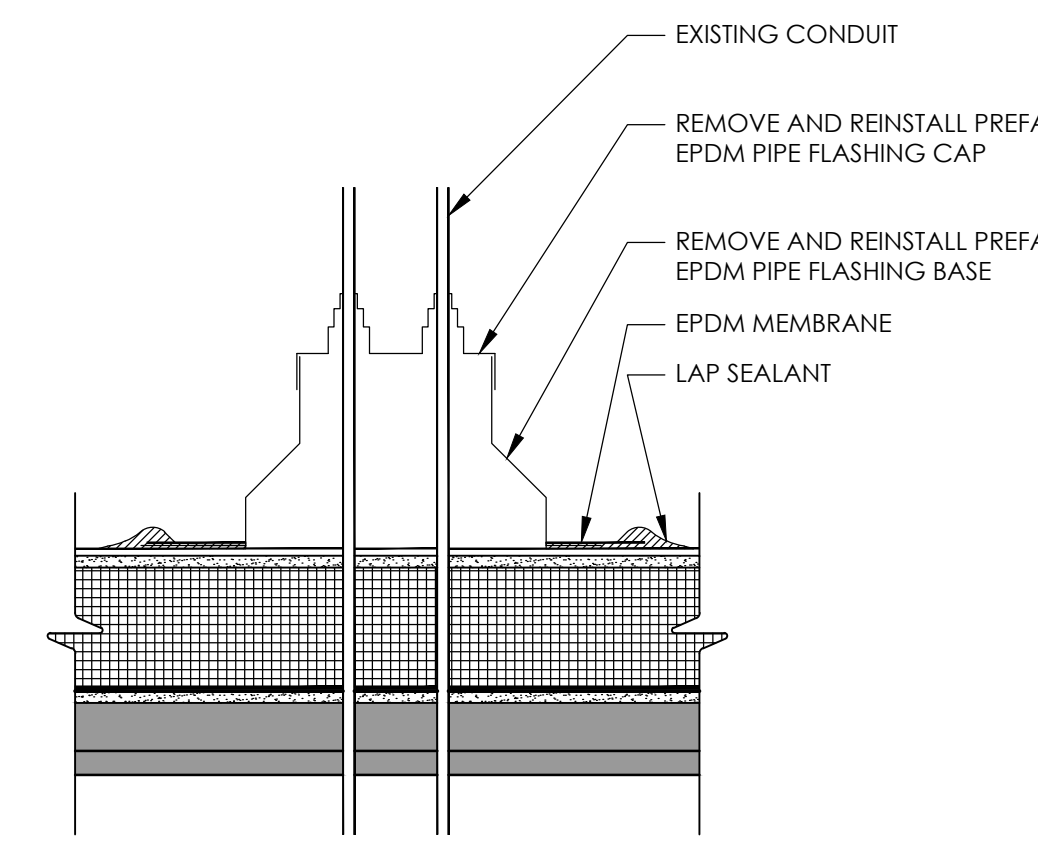
4 HOT FLUE
SCALE: 1 1/2" = 1'-0"
A901



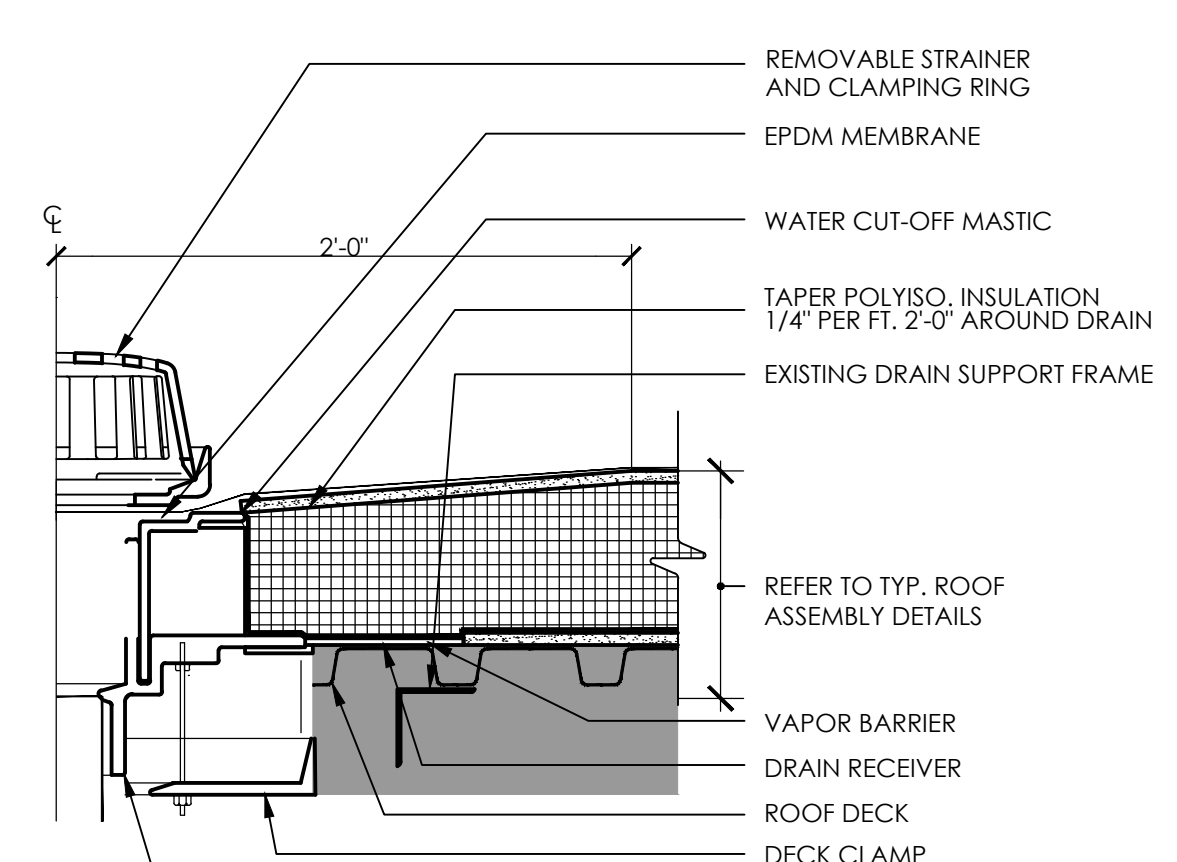
7 TYP. CURB DETAIL
SCALE: 1 1/2" = 1'-0"
A901



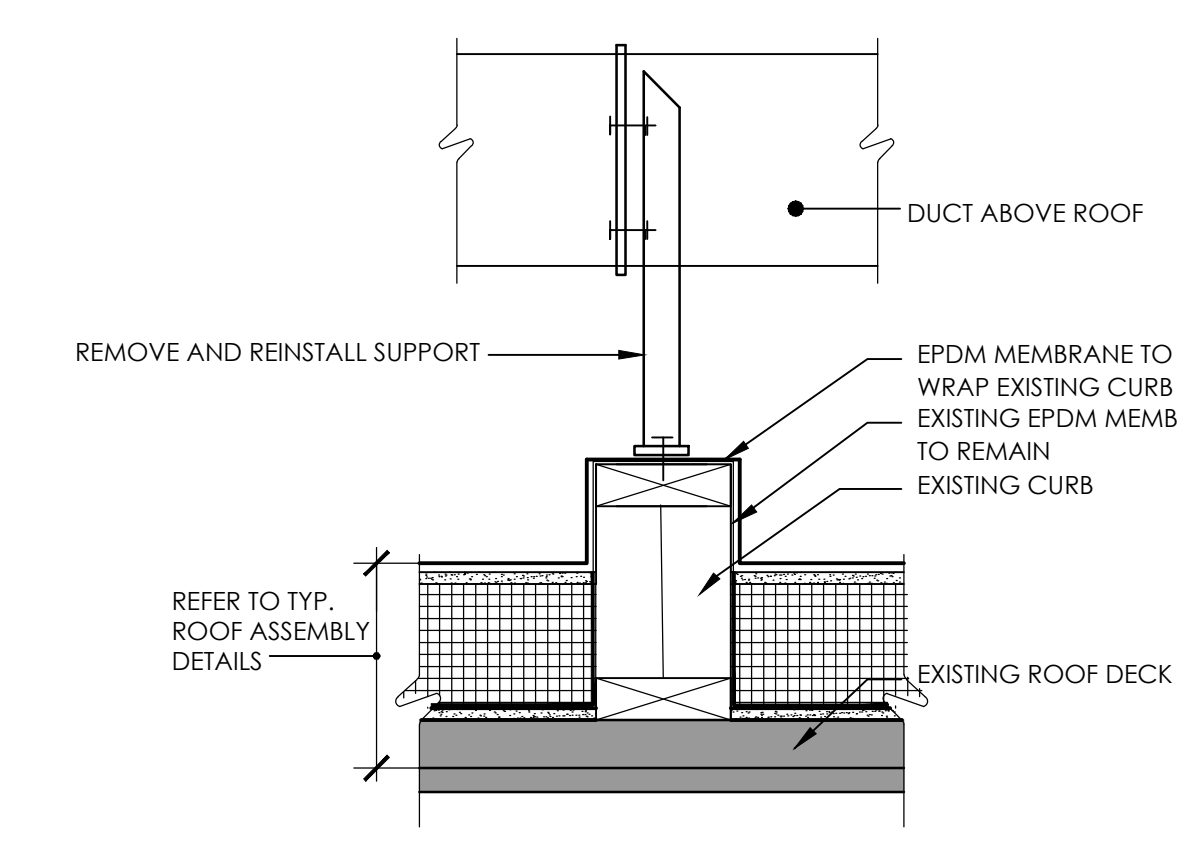
8 TYP. DUCT PENETRATION DETAIL
SCALE: 1 1/2" = 1'-0"
A901



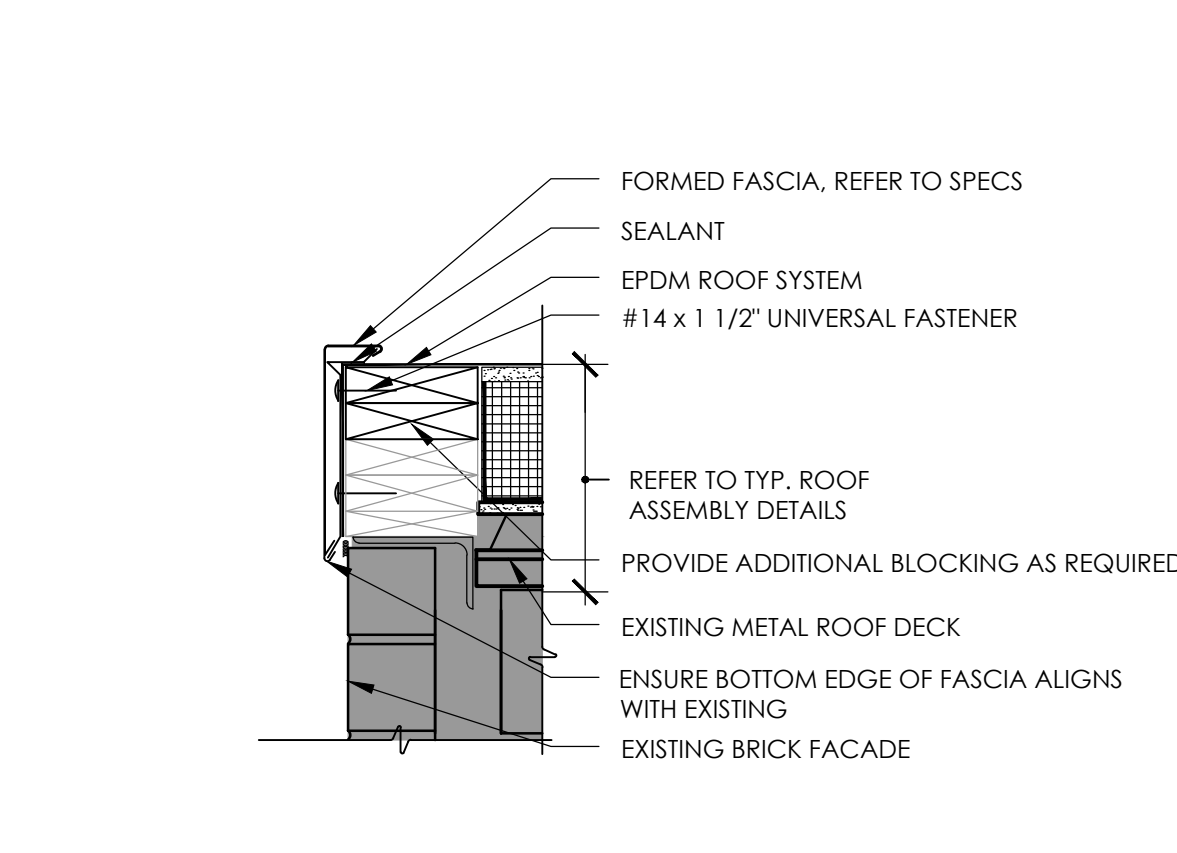
11 PIPE/CONDUIT PENETRATION
SCALE: 1 1/2" = 1'-0"
A901



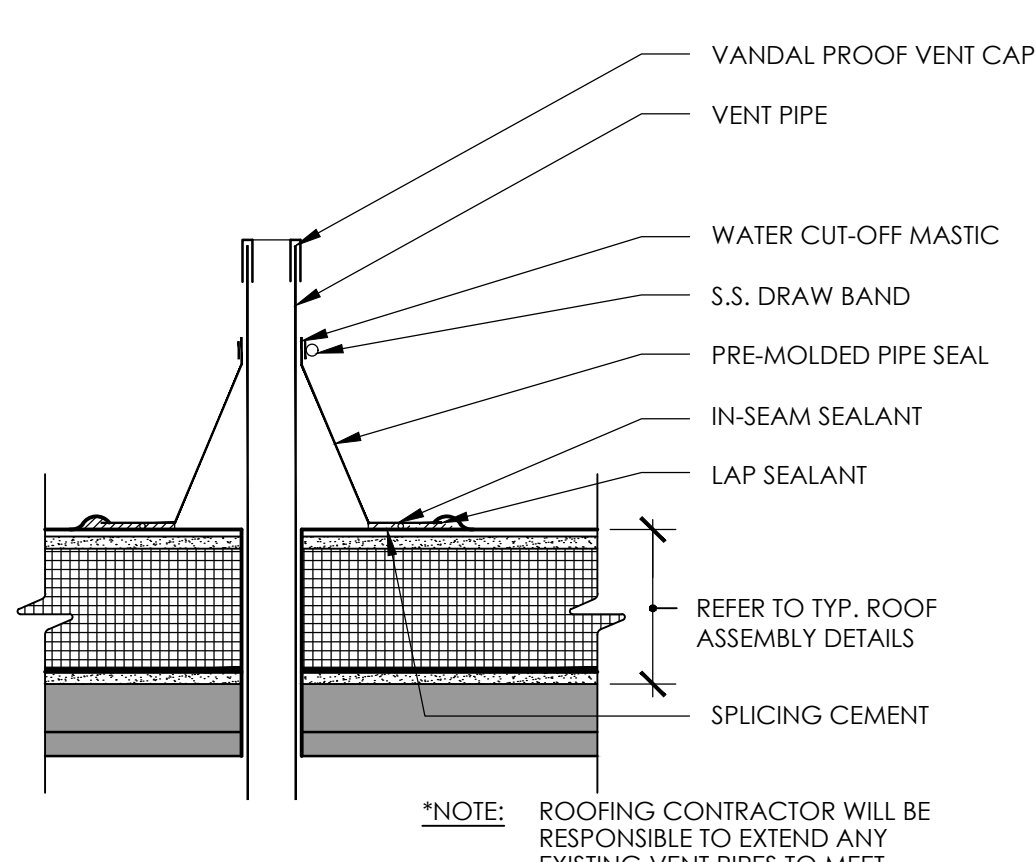
2 TYP. ROOF DRAIN DETAIL
SCALE: 1 1/2" = 1'-0"
A901



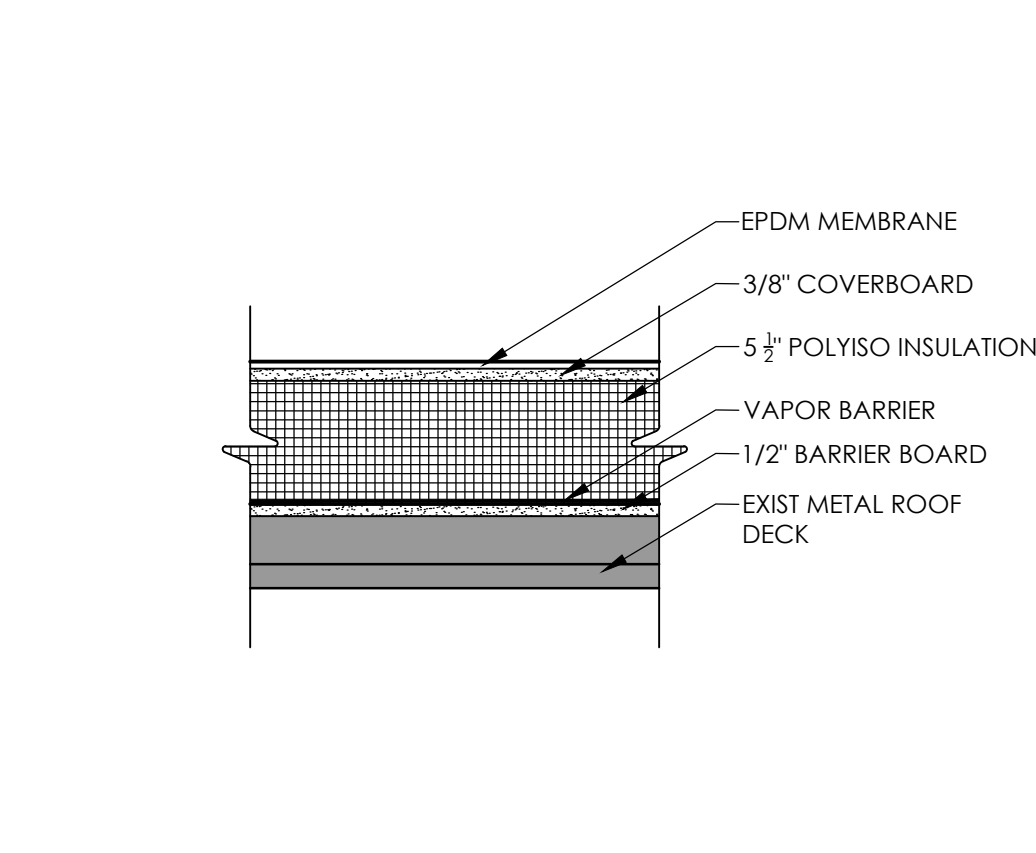
6 TYP. DUCT SUPPORT DETAIL
SCALE: 1 1/2" = 1'-0"
A901



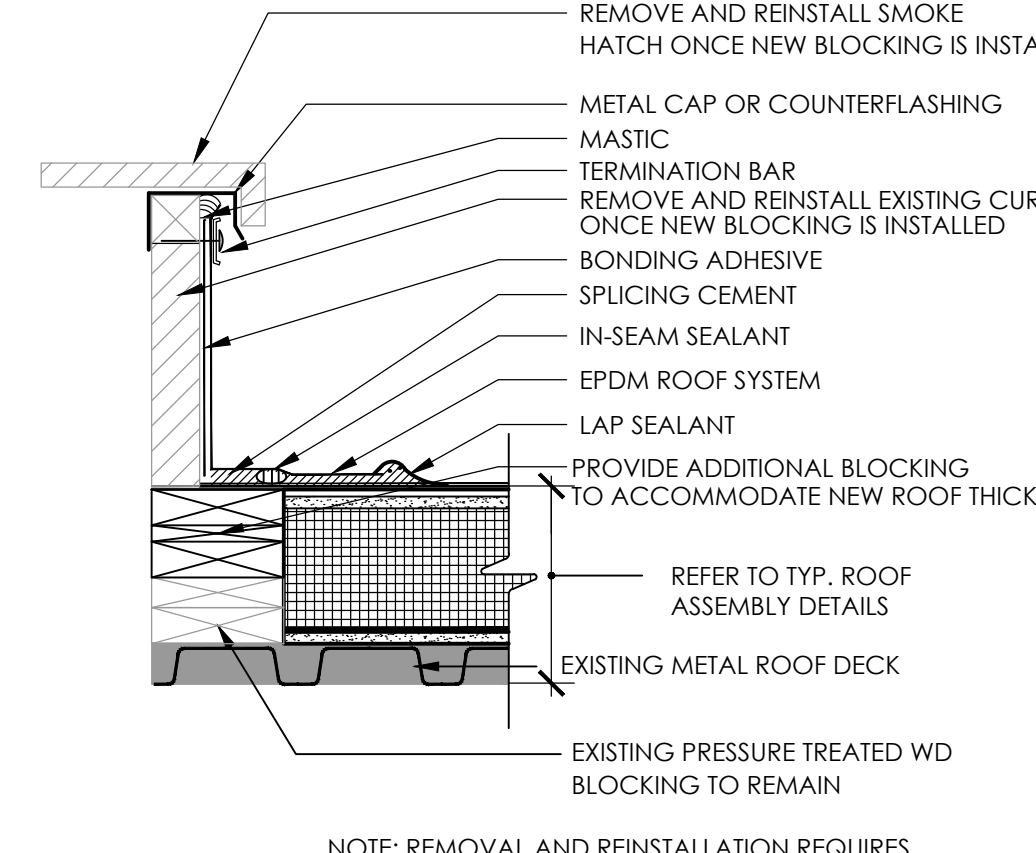
10 TYP. FASCIA DETAIL
SCALE: 1 1/2" = 1'-0"
A901



1 VENT PIPE DETAIL
SCALE: 1 1/2" = 1'-0"
A901



5 TYP. METAL DECK ASSEMBLY DETAIL
SCALE: 1 1/2" = 1'-0"
A901



9 SMOKE HATCH
SCALE: 1 1/2" = 1'-0"
A901

Plotted By: Nathan Alois

Date last plotted: 11/2/2021 3:03 PM

Date last accessed: 10/14/2021 3:38 PM

Sheet size: 24x36
Drawing Name: S:\Projects\Essex_Co\Courthouse Roof Rep\A Design\06 CAD\AutoCAD\ARCH\A901-12830.04.dwg